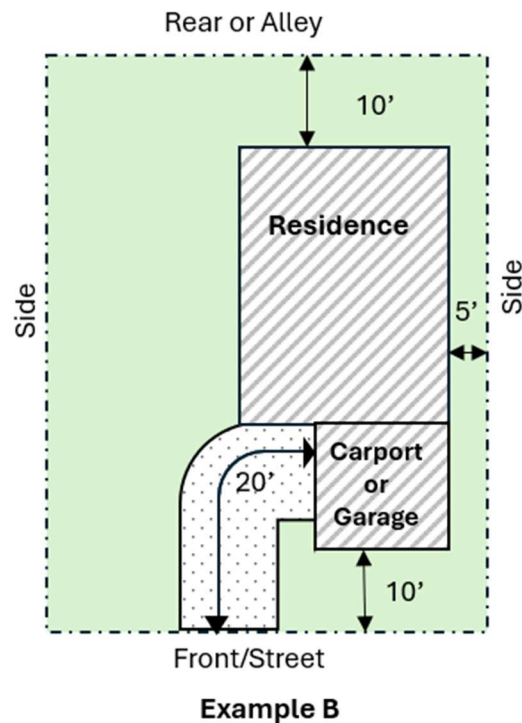
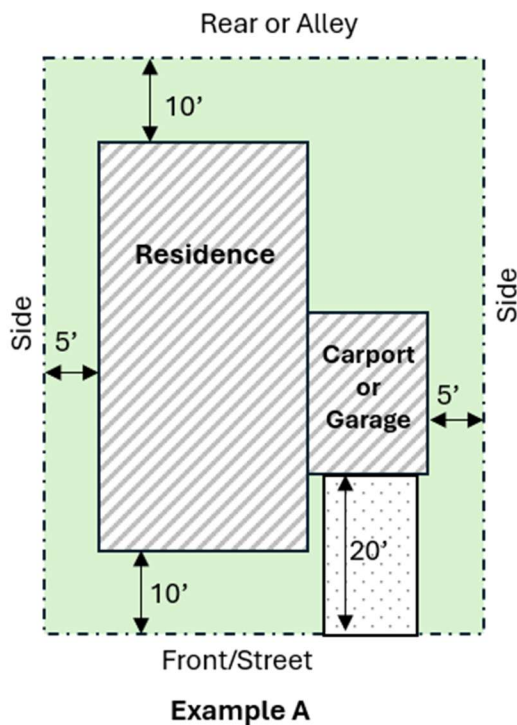


When you build a structure, you need to position the building on the lot so that it meets minimum setback requirements. Setbacks are measured from the building to the nearest property line or right of way. Setbacks are intended to allow sufficient space between buildings for fire protection, to allow adequate yards, and to minimize nuisances for neighbors. This handout will help show how setbacks may apply to your project. Setbacks can vary by zoning district, so please confirm the applicable setbacks for your property. These graphics are not drawn to scale and are for illustrative purposes.

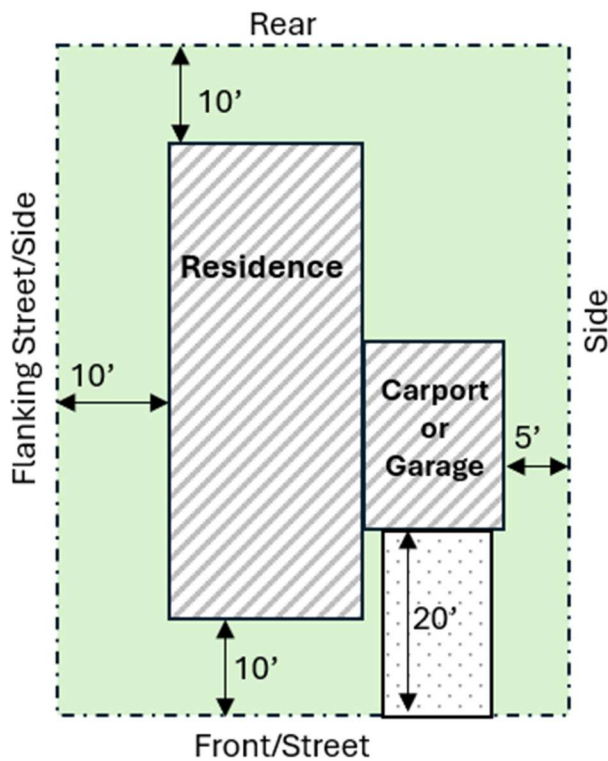
Generally, the foundation of the structure needs to be a minimum of:

- 10 feet from the front property line or street
- 10 feet from the rear property line, and
- 5 feet from the side property lines (10 feet if the side is another street)

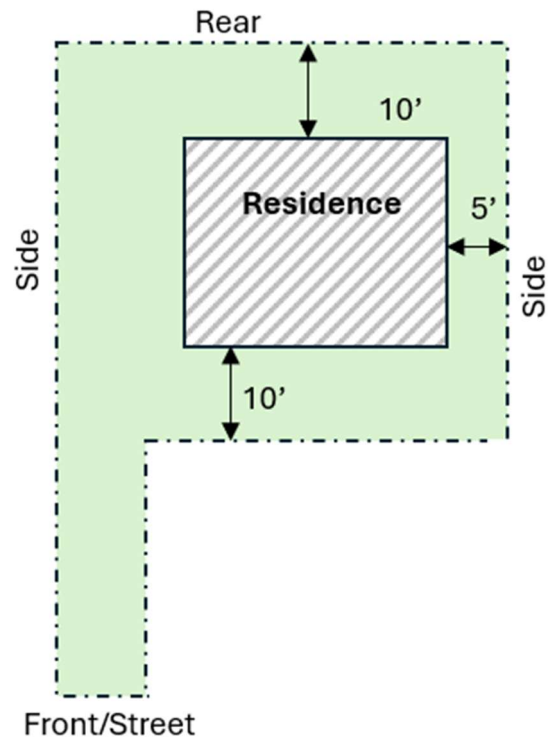
Typical Residential Setbacks:



Front Yard Exceptions The 10-foot minimum front yard setback is increased to 20 feet for structures for parking (attached or detached garages, carport entrances). Keep in mind that the setback requirements for garages are designed to provide room in the driveway for a car. *Exceptions to these standards are on the following pages.*



Example C – Corner Lot

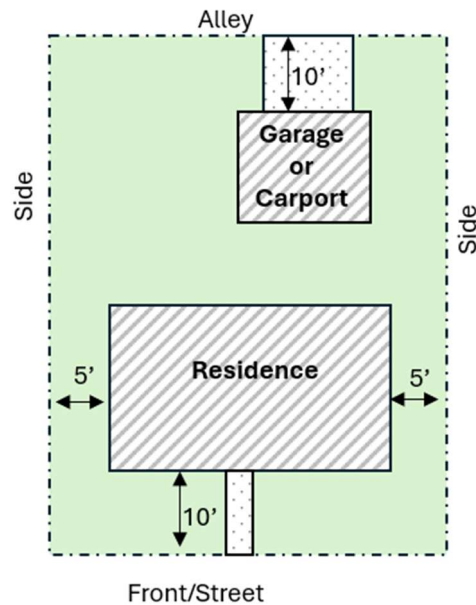


Example D – Flag Lot

Corner Lots: Corner Lots have frontage on two streets or public rights of way. If one of your side yards is next to a street, you must set your structures back 10 feet from the side street (called a “flanking” street). In some cases, there are exceptions for zero lot line lots and cottage housing (see OMC Chapter 18.04 of the Unified Development Code).

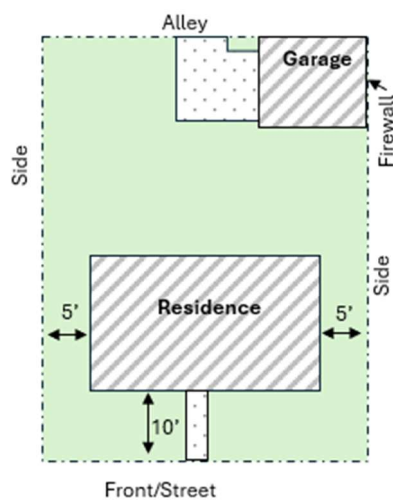
Flag Lots: If you have a “flag lot” (connected to a street by a narrow driveway or strip of land), the front yard setback is 10 feet, measured from the nearest parallel lot line to the front facade of the dwelling. The property owner can decide which direction the front façade of the building faces, but that also establishes which property line is considered the front property line.

A **detached garage or carport** with doors or vehicle access that will face the alley requires a setback of at least (10) feet from the alley.

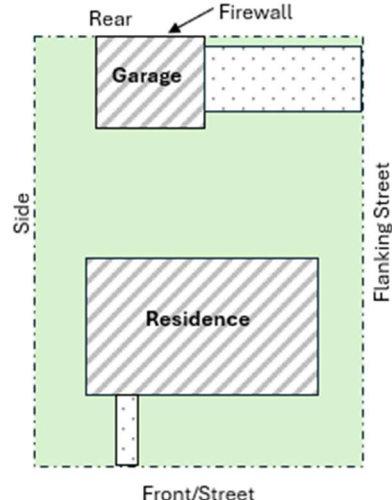


Example E – Alley Garage

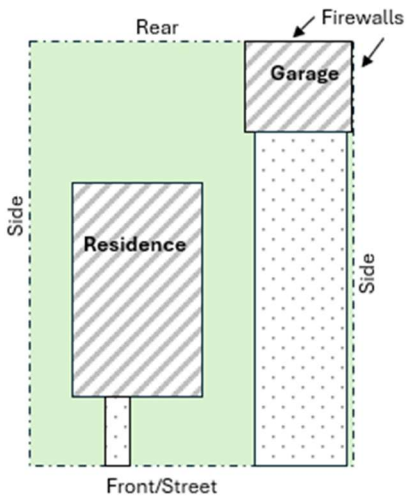
A **detached garage** may be set on the property line if the garage door is at a right angle to the alley entrance (Example F). Garage walls on or within five (5) feet of the side property line, however, must be fire walls and have no windows or other openings if less than three (3) feet from the property line. A detached garage may be set on the rear property line, but if the garage door faces a side yard, it must be set back twenty (20) feet or more from that side property line (Example G). In this case, only the wall on the rear property line need be a fire wall. A detached garage may also be set on both the rear and side property lines. In this case, both the walls facing the rear and side yards must be fire walls (Example H).



Example F

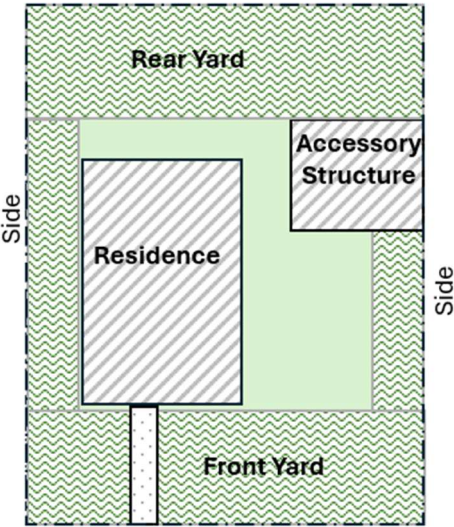


Example G

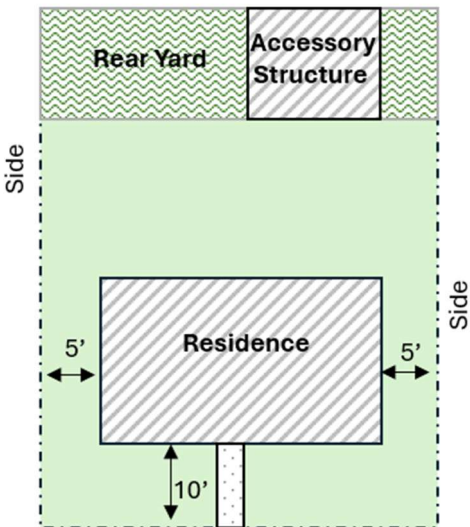


Example H

Detached Accessory Structures (such as sheds, gazebos, studio spaces, etc.) may be located anywhere within the rear forty feet of the lot, with the exception of a flanking street side. The structure will need to have at least 3 feet of separation from other structures on the same lot.

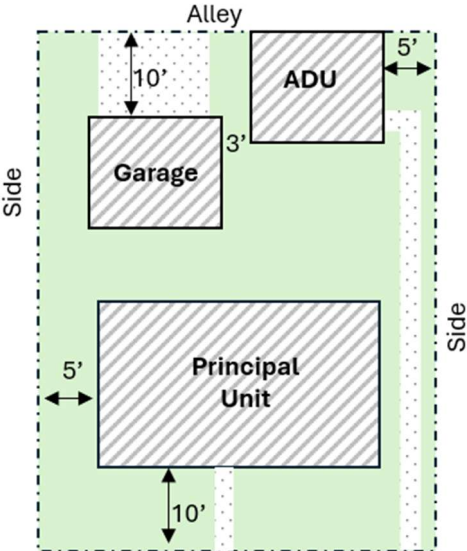


Example I

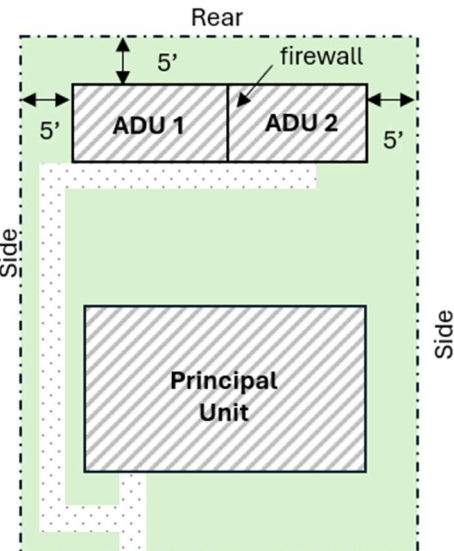


Example J

Accessory Dwelling Units must be five (5) feet from the side property line, but they may encroach into rear yards. If, however, the rear yard does not abut an alley, the ADU must be set back 5 feet or more from the rear property line.



Example K



Example L

More Exceptions:

Cornices, window sills, bay windows, flues, chimneys, planters, and roof eaves may project up to 2 feet into the required yard area. (See [OMC 18.40.060\(H\)](#)).

Uncovered swimming pools, hot tubs, and satellite dish antennas may be placed in the rear or side yard setback area.

Maximum fence height limits: (See [OMC 18.40.060\(C\)](#)):

- Within 10 feet of front property line = 4 feet
- Within 10 feet of side property line = 6 feet
- Within 10 feet of rear property line = 6 feet
- Clear Sight Triangle (near intersection) = 2 feet 6 inches

Retaining Walls. For retaining wall heights, see OMC [18.40.060\(C\)\(6\)](#).

Hedge height is restricted only in the first 10 feet from the front property line to 4 feet. Hedges in the side and rear yards have no height limit. On corner lots, hedges in the clear sight triangle cannot be over thirty inches. (See [OMC 18.40.060\(C\)](#)).